

Urban Design - Transition

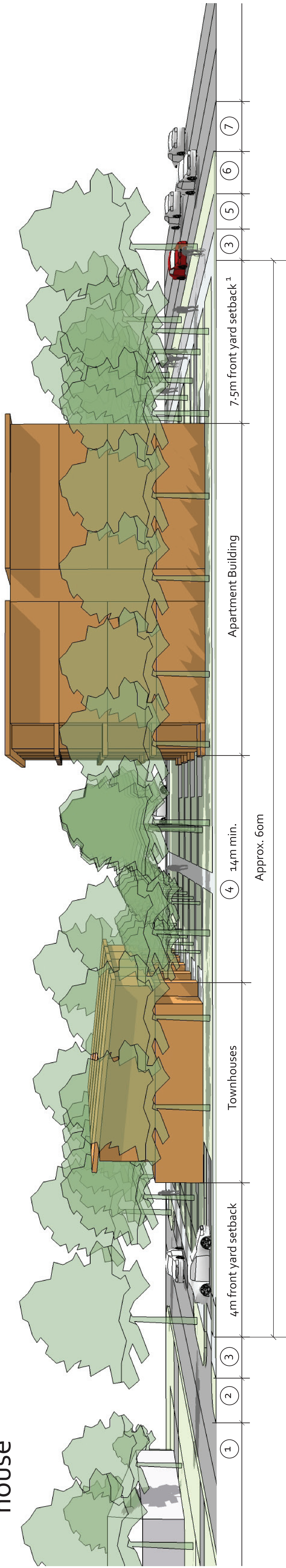
From Apartment Buildings to Single Family Homes

single family house

2 Stories

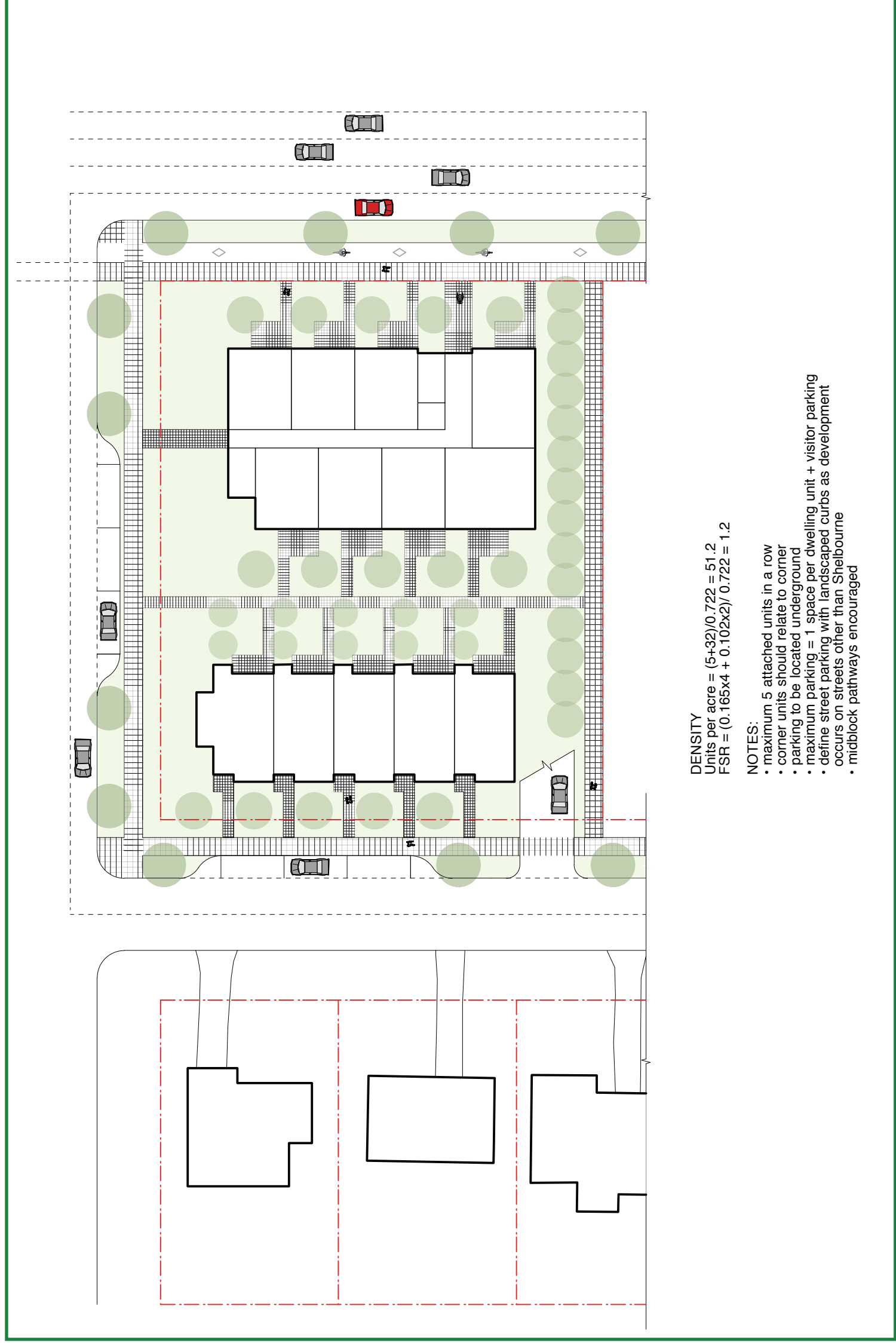
4 Stories

Shelbourne



Legend

- 1 Residential street
- 2 Street trees, rain gardens and parallel parking (1.5-2.5m)
- 3 Sidewalk (2m)
- 4 Courtyard with ground oriented residential units
- 5 Cycle track separated by landscaping if space allows.
- 6 Street trees and rain gardens
- 7 Shelbourne Street



Many of the lots suggested for redevelopment to apartment buildings are shallow depth lots of 35 m or less fronting onto Shelbourne St. The Zoning Bylaw requires front setbacks of 7.5 m and rear setbacks of 10.5 to 12.0 m depending on the height of the apartment building. The result is a narrow building footprint that makes redevelopment of these lots to apartment buildings difficult to achieve.

To increase the amount of land available for redevelopment the developer may decide to acquire the lots behind those designated for apartment buildings. However, having apartment buildings backing onto residential streets next to single family homes is not acceptable. A transition is therefore suggested with apartment buildings fronting Shelbourne St. and townhouses behind and fronting the residential street.

A minimum separation between the apartment building and townhouses of 14.0 m is recommended. Additional space is acquired by reducing the front yard setback for townhouses to 4.0 m from 7.5 m.

Landscaped setbacks, ground oriented dwellings in townhouses and apartment buildings, and upper floor setbacks and parking entrances between buildings would add to the sense of physical separation.

Where lot sizes are deep enough to comfortably allow apartment development, normal Zoning Bylaw setback regulations would apply.